



THE REPUBLIC OF UGANDA



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**MINISTRY OF LANDS, HOUSING
AND URBAN DEVELOPMENT
P.O. BOX 7096
KAMPALA, UGANDA**

In any correspondence on
this subject please quote No **VAL/114/01**

25th May, 2023

The Branch Manager (WSDF-C),
Ministry of Water and Environment,
Water and Sanitation Development Facility-Central,
P.O Box 80,
Wakiso, Uganda.

**RE: SUBMISSION OF FINAL VALUATION REPORT FOR 2 NO. SITES AT RUBASENGURA
VILLAGE AND 1 NO. SITE IN IGAYAZA IN KAKUMIRO DISTRICT.**

(Approval of Final Valuation Report and Strip map)

Your letter **Ref: WSDF-C/614/2023** dated 27th April 2023 in line with the subject matter refers. You therewith tendered in a final valuation report prepared by your project consultant M/s Segamu 14 Consults Limited; authored by Mr. Reagan Maima with Registration No. 379 of the Surveyors Registration Board of Uganda and strip map authored by Mr. Ronald Kitasala with Registration No. 385 of the Surveyors Registration Board of Uganda for Chief Government Valuer's review and subsequent approval.

This is therefore to forward the CGV's approval of the final valuation report for your further management.

Gilbert Kermundu

For: PERMANENT SECRETARY

RE: SUBMISSION OF FINAL VALUATION REPORT FOR 2 NO. SITES AT RUBASENGURA VILLAGE AND 1 NO. SITE IN IGAYAZA IN KAKUMIRO DISTRICT.

(Approval of Final Valuation Report and Strip map)

We have studied the report against the Terms of Reference, the comments and observations made during the inspection and monitoring programme on 18th May 2023 undertaken by our officer Ms. Nabasajji Lucia (Government Valuer) and yourselves, and the data illustrated in the Strip Maps. We have also taken into consideration the general principles of valuation applied as well as the existing legal framework.

Your Project Consultant is believed to have considered the Registration of Titles Act (RTA) Cap 230 Section 59 among other laws while carrying out the assessment on registered parcels of land. It is incumbent upon yourselves (*where necessary*) to do further due diligence regarding the validity of proprietorship and status of the same before effecting payments to the project affected persons (PAP).

We find the report satisfactory and therefore approve the same for your consideration and further management. This approval neither covers arithmetical errors and omissions nor actions inconsistent with professional ethics if they so arise.



Dorothy Natukunda

For: CHIEF GOVERNMENT VALUER

Approved



Chief Government Valuer
25th May 2023

**CONSULTANCY SERVICES TO
UNDERTAKE LOCATION,
RECONNAISSANCE, TOPOGRAPHIC,
CADASTRAL AND VALUATION SURVEYS
IN WSDF – C AREA OF OPERATION IN
CENTRAL REGION UNDER A
FRAMEWORK CONTRACT**

**VALUATION REPORT FOR 2 SITES
IN RUBASEBGURA AND 1 SITE IN
IGAYAZA A**



Ministry of Water and Environment



Segamu 14 Consults Ltd.

Submitted By:

Segamu 14 Consults Ltd

Plot 2758, Odur Lane, Ntinda Kigowa
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Email: info@segamu14consults.co.ug

Web: www.segamu14consults.co.ug



MARCH 2023

For any correspondence(s).

Please quote

Our Ref: **VLN09/2020**

Your Ref: _____

Date: 17th March, 2023

Attn: MINISTRY OF WATER AND ENVIRONMENT

Water and sanitation Development Facility- Central

P.O BOX 80, Wakiso-Uganda

Tel: +256 312 311 600

Wsdf-c@mwe.go.ug


**VALUATION REPORT FOR PARCELS OF LAND AT PLOT 1 BUGANGAIZI BLOCK
56 KAKUMIRO DISTRICT AND PLOT 45 BLOCK 55 KAKUMIRO DISTRICT.**

As contracted, we duly undertook inspection in a bid to ascertain the current Open Market Value of land and the compensation payable to the different interests held in the same piece of land.

We thus present our findings and valuation as here under.

Yours faithfully,

.....



REAGAN MAIMA,

RSU, M.ISU,

Bsc Land Economics, PGD PPM

FOR AND ON BEHALF OF: SEGAMU 14 CONSULTS LTD

I. EXECUTIVE SUMMARY AND VALUATION

Valuation date	The field work was undertaken in January 2023 and the valuation was undertaken in March 2023.
Proprietor	<p>The registered proprietor for Plot 1 Bugangaizi Block 56 Kakumiro District is Joswa Wante and Maria Nadagire. The water treatment plant is to be developed on this parcel. The demarcated plot of land has 11No. Sitting Tenants;</p> <ul style="list-style-type: none"> • Bishobore John • Bishobore John • Nalubega Irene • Asiiimwe Didas and Nyamahunge Justine • Nagadya Naome • Twesigye Evas, Natukunda Justine and Natamba Joselyn • Asiiimwe Didas & Nyamuhunge Justine • Owamani Lauben and Tushemereirwe Nathan • Adam Ahimbisibwe • Akim Umar • Taremwa Nyakojo <p>The registered proprietor for Plot 45 Bugangaizi Block 55 Kakumiro District is Paulo Kalisa, Maliko Kulazikulabe, Zirimenya Luwambya Samuel Munaku, Yozuwe Sentamu Manuelli Gavamukulya, Uganda Land Commission, Erisa Kulazikulabe, and Matayo Kyambadde. The water tank site is to be developed on this parcel. The demarcated plot of land has 1No. Sitting Tenant</p> <p>The parcel on which the water abstraction point lies is public land within the buffer zone of River Nkusi, 1No. licensee tenant was found to be using this land</p>
Property Reference	<p>Portion of land at Plot 1 Bugangaizi Block 56, Kakumiro District.</p> <p>Portion of land at Plot 45 Bugangaizi Block 55, Kakumiro District.</p>
Property Description	<p>The area demarcated for the development of a Treatment Plant consists of plantations and other crops belonging to 9No. Sitting Tenants. It is located within Rubasengura Local Council One, Igayaza Town Council, Kakumiro District.</p> <p>The area demarcated for the development of a Tank Site consists of a plantation belonging to 1No. Sitting Tenant. It is located within Igayaza A Local Council One, Igayaza Town Council, Kakumiro District.</p> <p>The area demarcated for the Water abstraction point is partially planted with Eucalyptus trees</p>
Land size	<p>We did not ascertain the exact acreage of Plot 1 Block 56 and Plot 45 Block 55 as they are currently at blue page.</p> <p>The proposed land size to be occupied by the Treatment Plant measures approximately 1.938 Hectares (4.790 Acres) broken down as follows;</p>

<i>No.</i>	<i>Name</i>	<i>Serial No.</i>	<i>Acreage (Acres)</i>	<i>Tenure</i>										
1	Bishobore John	WSDF-RAB-001	0.414	Sitting Tenant										
2	Bishobore John	WSDF-RAB-002	0.111	Sitting Tenant										
3	Nalubega Irene	WSDF-RAB-003	0.155	Sitting Tenant										
4	Asiimwe Didas & Nyamahunge Justine	WSDF-RAB-004	0.463	Sitting Tenant										
5	Nagadya Naome	WSDF-RAB-005	0.107	Sitting Tenant										
6	Twesigye Evas, Natukunda Justine & Natamba Joselyn	WSDF-RAB-006	0.491	Sitting Tenant										
7	Asiimwe Didas & Nyamahunge Justine	WSDF-RAB-007	0.625	Sitting Tenant										
8	Owamani Lauben & Tushemereirwe Nathan	WSDF-RAB-008	0.211	Sitting Tenant										
9	Adam Ahimbisibwe	WSDF-RAB-009	1.630	Sitting Tenant										
10	Akim Umar	WSDF-RAB-010	0.297	Sitting Tenant										
11	Taremwa Nyakojo	WSDF-RAB-011	0.246	Sitting Tenant										
Land size	<p>The proposed land size to be occupied by the Water tank measures approximately 0.277 Hectares (0.684 Acres) broken down as follows;</p> <table border="1"> <thead> <tr> <th><i>No.</i></th> <th><i>Name</i></th> <th><i>Serial No.</i></th> <th><i>Acreage (Acres)</i></th> <th><i>Tenure</i></th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Kaliisa Andrew</td> <td>WSDF-IGY-001</td> <td>0.684</td> <td>Sitting Tenant</td> </tr> </tbody> </table>				<i>No.</i>	<i>Name</i>	<i>Serial No.</i>	<i>Acreage (Acres)</i>	<i>Tenure</i>	1	Kaliisa Andrew	WSDF-IGY-001	0.684	Sitting Tenant
<i>No.</i>	<i>Name</i>	<i>Serial No.</i>	<i>Acreage (Acres)</i>	<i>Tenure</i>										
1	Kaliisa Andrew	WSDF-IGY-001	0.684	Sitting Tenant										
Land size														

	The proposed land size to be occupied by the Water Abstraction point measures approximately 0.383 Hectares (0.947 acres) . It entirely falls on public land.				
	No.	Name	Serial No.	Acreage (Acres)	Tenure
	1	Muzamiru Mulindwa	WSDF-RAB-012	0.000	Licensee Tenant
Neighborhood	The immediate Neighborhood is of a swampy vegetation, residential structures and plantations visible elsewhere. The general neighborhood is of an upcoming and mixed land use. It is served with a fairly maintained marram access road with access to essential services.				
Special factors	<i>We have considered the value of bare land and the crops there in.</i>				
Purpose of Valuation	Establishment of the current Open Market Value of land and compensation payable to the different interests held therein				

After having considered all the relevant factors affecting property market in Igayaza Town Council with particular reference to the subject property, we are of an opinion that the Total compensation inclusive of the disturbance allowance @30% payable for the the three sites required for the water system in Kakumiro District is in the sum of **Ugx. 269,617,400 (Uganda shillings Two Hundred Sixty Nine Million Six Hundred Seventeen Thousand Four Hundred only)** and is broken as follows:

Water Treatment Plant (Sitting Tenants - 70% for Land)	Ugx 200,421,000 (Uganda shillings Two Hundred Million Four Hundred Twenty-One Thousand Only)
Water Treatment Plant (Landlord Interest - 30% for Land)	Ugx 33,345,000 (Uganda shillings Thirty-Three Million, Three Hundred Forty-Five Thousand only)
Water Abstraction Point	Ugx. 8,216,000 (Uganda shillings Eight Million Two Hundred Sixteen Thousand only)
Water Tank Site (Sitting Tenant - 70% for Land)	Ugx. 22,833,720 (Uganda shillings Twenty-Two Million Eight Hundred Thirty-Three Thousand Seven Hundred Twenty only)
Water Tank Site (Landlord Interest Tenant – 30% for Land)	Ugx. 4,801,680 (Uganda shillings Four Million Eight Hundred One Thousand Six Hundred Eighty only)
Total (6.421 Acres)	Ugx. 269,617,400 (Uganda shillings Two Hundred Sixty-Nine Million Six Hundred Seventeen Thousand Four Hundred only)

The detailed valuation breakdown for the individual Project Affected Persons and a map showing the different parcels is attached herewith

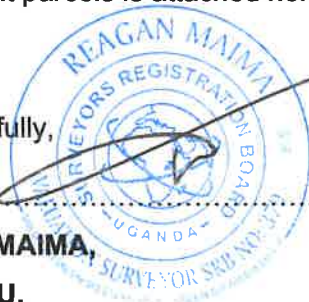
Yours faithfully,

REAGAN MAIMA,

RSU, M.ISU,

Bsc Land Economics, PGD PPM

FOR AND ON BEHALF OF: SEGAMU 14 CONSULTS LTD



1.0 BASIS OF VALUATION AND GENERAL ASSUMPTIONS MADE

- a) The effective date of valuation taken to be 17th March, 2023.
- b) The valuation is based on market value. this is defined in international valuation standards (IVS) as the estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing where the parties have both acted knowledgably, prudently and without compulsion. Method we mainly use include; sales comparison, cost approach, investment approach and residual approach.
- c) This valuation report has been compiled for the exclusive use by the client to whom it is addressed and shall not be divulged to any other party and should be kept with highest levels of confidentiality.
- d) We have assumed that the property and its value is not affected by any statutory notice or condition of title.
- e) At the time of inspection, the site was largely covered by plantations belonging to the various sitting tenants and the details of their properties are in the valuation roll. Therefore, our valuation takes into account the land component and plantations.
- f) Neither the whole nor any part of our report nor any references to it may be included in any published document, circular or statement nor published in any way without our prior written approval from **Segamu 14 Consults Ltd** of the form and context in which it will appear.
- g) This report is only valid in its original form without any alteration and signed and sealed by us. We shall not guarantee the authenticity of any copies presented to any person, organization or any entity as being made from the original.



2.0 METHOD OF VALUATION AND CONSIDERATIONS

2.1 Legal and Institutional Framework

The determination for the compensation and resettlement packages was guided by existing National laws and Institutional arrangement as they relate to compensation and resettlement, and where necessary international best practices including IFC Safeguard Policies. The overriding objective in resettlement planning is the avoidance or minimize and mitigation of the adverse impacts associated with the development.

The basis of valuation for compensation is provided in The Constitution of the Republic of Uganda 1995 and the Land Act CAP.227

The Constitution of the Republic of Uganda, 1995, Article 26: Protection from deprivation of property

- (1) Every person has a right to own property either individually or in association with others.
- (2) No person shall be compulsorily deprived of property or any interest in or right over property of any description except where the following conditions are satisfied.
 - (a) the taking possession or acquisition is necessary for public use or in the interest of defense, public safety, public order, public morality or public health; and
 - (b) the compulsory taking of possession or acquisition of property is made under the law, which makes provision for
 - (i) prompt payment of fair and adequate compensation, prior to the taking of possession or acquisition of the property; and
 - (ii) A right of access to a court of law by any person who has an interest or right over the property.

The Land Act, CAP.227

- (1) the district land tribunal shall, in accessing compensation referred to in section 77(1)(b) take into account of the following: -
 - (a) in the case of a customary owner, the value of land shall be the open market value of the unimproved land;



- (b) the value of the buildings on the land, which shall be taken at open market value for urban areas and depreciated replacement cost for the rural areas;
 - (c) the value of standing crops on the land, excluding annual crops which could be harvested during the period of notice given to the owner, tenant.
- (2) In addition to compensation assessed under this section, there shall be paid as a disturbance allowance of 15 percent or, if less than six months' notice given up vacant possession is given, 30 percent of any sum assessed under subsection (1)

The rates set out in the list of rates of compensation referred to in section 59(1) (e) shall be used in determining the compensation payable. These will be used to determine the value of the crops affected by the projects in question.

For the land component, we shall adopt the ongoing market value for recently concluded transactions and the price for land that is being offered for sale within the vicinity and comparable localities and these will be adjusted accordingly.

A 70% and 30% of the land Value will be awarded for the Tenant (Kibanja owner) and Land lord (title owner) respectively as per Key Principle No.8 of the guidelines on Compensation assessment (2015) by the Ministry of Lands, Housing and Urban Development under compulsory Land acquisition;

“The assessment shall identify and recognize multiple layers of rights on affected and property as contained in the laws of Uganda. Affected persons with no formal legal rights on land shall be included in the assessment provided that they have established rights to property on the land taken, prior to the cutoff date. Apportionment of 60%-70% to the tenant and 30%-40% to the landlord shall be accorded where it applies.”



3.0 VALUATION APPROACH

The valuation and assessment of the different parcels of land was carried out in consultation with property owners, occupants and other stakeholders including relevant land offices. The exercise involved fieldwork which included a stakeholders' engagement to share information about the project including individual and general impacts and project implementation timelines. This opportunity also allowed the PAPs to make enquiries unique to their circumstances.

Office work involved analysis of the data collected in the field including market evidence. Further, deskwork included computation, valuation/assessment and compilation/preparation of the valuation report that was submitted to the client and later to the Chief Government Valuer for comments and subsequent approval.

4.0 DETAILED METHODOLOGY

4.1 Background

In the execution of this assignment, methodological guidelines usually applied in Valuation of real estate for compensation in Resettlement Action Plan for similar assignments backed by the discipline best practices and professional approaches were applied. The approaches are elaborated below:

4.2 Valuation

The properties were valued on the basis of **Market Value**. There are various methods commonly used for determining the market value of real estate. These methods of valuation comprise: **Direct Comparable Sales Approach**, Cost Approach, Income Approach using Investment and profits, as well as residual approach. In order to determine which method applied to the subject property; cognizance was taken of the fact that the land parcels are currently being planned for development with water facilities and that they are valued as vacant parcels. Sales comparison method of valuation was adopted to determine the value of land.

Market Value: is defined by the International Valuation Council Standards Committee (IVSC) as "the estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing and where the parties had each acted knowledgeably, prudently and without compulsion".



Sales Comparison Method; the valuation approach entailed comparing the subject property with similar properties that were sold recently and those that are currently being offered for sale in the vicinity or other comparable localities.

Assessment for compensation involved computation of compensation awards according to the nature of property affected.

Semi-Permanent Buildings and structures

Assessment of buildings and other improvements (of a non-permanent nature) was assessed as per the relevant figures provided in the respective District compensation rates.

Crops and trees

The following Approved current District Area Compensation Rates were used to assess the direct economic trees and crops.

Hoima District Compensation rates for the financial year 2020/2021 were used for the district of Kakumiro since they dont have updated compensation rates

In addition, assessment of crops/trees was done as below;

- a) Crops that were identified and found in the District Compensation Rates were valued as per the said Rates.
- b) Crops not found in the District Compensation Rates have attached values of either similar rates as found in the neighboring Districts or similar in species classification.
- c) New Crops/ tree stems found to have been recently planted or fixed on the ground (say a day old), if noted to have been planted for speculative reasons, were not assessed.

Land

Land areas were obtained through measurements and computations by the project Land Surveyor. To ensure accuracy and completeness of the information collected, the team worked with local leaders who among other things physically guided the valuation team around the affected land and buildings for proper inspection, recording, and measurement.

The open Market Value of the land was based on evidence of available market sales comparables.



According to the IVS 2022, Market Value is the estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing and where the parties had each acted knowledgeably, prudently and without compulsion.

Implicit in this definition is the consummation of a sale at a specified date and the passing of ownership from the seller to buyer under conditions whereby: -

- Both the Buyer and Seller are economically motivated and are both acting prudently.
- The sale price is not affected by any undue influence.
- Both parties are well informed and well advised and are acting in what they consider to be their own best interest.
- A reasonable time is allowed for exposure in the open market

Sales Comparable

The valuation team researched and looked at recent available sales comparables from Local Councils (LCs), Land brokers and agents, institutions, and firms including the District Lands Office, Commissioner Valuations office in the Ministry of Lands, Housing and Urban Development, as well as the land rates adopted for all recent Government projects done within the communities.

Market value determinants considered for adjustments included:

- Location relation to urban centers;
- Economic activity in the area;
- Physical and geographical factors;
- Population density;
- Vicinity to services such as water electricity and roads; and
- Cultural attitudes to land transactions.
- Tenure and planning restriction.



4.3 Disturbance Allowance

A statutory disturbance allowance of 30% of the compensation amount will be awarded to each PAP. This is based on the fact that the facilities development is urgent and thus no time period (of 6 months) will be given to occupants and owners.

5.0 SITE LOCATION AND ACCESS

The property is located at Rubasengura Local Council One, Igayaza Town Council, Kakumiro District. Access from Igayaza Trading Centre is via a murram road opposite Mwero Gas Station with Kingsway SS signage for approximately 2 Kilometers to a Y-Junction. Turn right and continue ahead for approximately 1 Kilometer to the proposed Treatment site lying on the right-hand side of the access road.

6.0 ACREAGE AND TENURE

6.1 Acreage

The acreages for the various facilities and their sitting and licensee tenants are broken down in the survey report.

6.2 Tenure Details;

Plot 1 block 56 is registered under Joswa Wante and Maria Nadagire

Plot 45 Block 55 is registered under Paulo Kalisa, Maliko Kulazikulabe, Zirimenya Luwambya Samuel Munaku, Yozuwe Sentamu Manuelli Gavamukulya, Uganda Land Commission, Erisa Kulazikulabe, and Matayo Kyambadde.

Both plots were shown to have been plotted on blue pages; thus, the title processing is incomplete.

The water abstraction point was found to be on MUJUNGU Crown land & swamp F.A. 415.95 acres.

7.0 AVAILABLE SERVICES

7.1 Boundary Definition:

The parcel's boundaries are open to the neighborhood.



7.2 Main Electricity supply

The proposed site is within the reach of Electric mains supply evident by electric poles visible in the neighborhood.

7.3 Sanitation and drainage.

The parcel enjoys natural drainage by virtual of its sloping terrain towards nearby swamp.

8.0 IMPROVEMENTS & DEVELOPMENTS

The subject parcel of land was not structurally developed at the time of inspection. It however consisted of plantations belonging to various sitting tenants (Kibanja Owners). This report therefore takes into account the land component and their plantations.

9.0 MARKET CONSIDERATIONS.

Igayaza town council is characterized of middle and low income commercial cum residential addresses. The plot enjoys close proximity from Igayaza town hence easily accessed through existing fairly maintained Marram roads.

Whereas highest property values are achieved within Igayaza Town Centre, property market in peripheral areas have overtime been steadily rising in capital values enhanced by the development of infrastructure around town and the high demand plots due to the increasing population density in the area. This trend is likely to remain as such both in the short and middle term future.



REAGAN MAIMA,
RSU, M.ISU, Bsc Land Economics, PGD PPM
FOR AND ON BEHALF OF: SEGAMU 14 CONSULTS LTD



THE SURVEYORS REGISTRATION BOARD
(EST. UNDER THE SURVEYORS REG. ACT CAP 275)
PRACTICING CERTIFICATE FOR.....2023.....

Name..... Reagan Maima

Practicing with/as... Pangeo Consults

Is hereby licensed to practice .. Valuation Surveying

Under section 19 of the **SURVEYORS REGISTRATION ACT CAP 275**

This certificate is issued in accordance with Section 19(1) of the Surveyors

Registration Act Cap 275 on this17..... Day of February, 2023

Licence No. 241/2023

Registrar: 



Chairperson: 

The Licence shall remain valid up to 31st December 2023



THE SURVEYORS REGISTRATION BOARD

(EST. UNDER THE SURVEYORS REG. ACT CAP 275)

PRACTICING CERTIFICATE FOR 2022

Name..... **Ronald Kitasala**

Practicing with.....

Vertex Surveys & Partners

Is hereby licensed to practice **Land Surveying**

Under section 19 of the **SURVEYORS REGISTRATION ACT CAP 275**

This certificate is issued by the Registrar undersigned below in accordance with

Section 19(1) of the SRB Act Cap 275 on this **11th** Day of **Jan 2022**

The Licence shall remain valid until the thirty first day of December next after its issue and shall be Renewable annually on application being made on the prescribed form.

Licence No. **031/2022**



Registrar: 

RESETTLEMENT ACTION PLAN (RAP)
SURVEY REPORT FOR THREE (#3) SITES
AT IGAYAZA_KAKUMIRO DISTRICT



Ministry of Water and Environment



Segamu 14 Consults Ltd.

**CONSULTANCY SERVICES TO UNDERTAKE LOCATION,
RECONNAISSANCE, TOPOGRAPHIC, CADASTRAL AND
VALUATION SURVEYS IN WSDF – C AREA OF
OPERATION IN CENTRAL REGION UNDER A
FRAMEWORK CONTRACT**

MARCH 2023



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BmTH

AK

Your Ref:

Date: March 17th, 2023

Attn: **MINISTRY OF WATER AND ENVIRONMENT**

Water and Sanitation Development Facility – Central
P.O. Box 80,
Wakiso(U),
Tel: +256 312311600
wsdf-c@mwe.go.ug

RE: RESETTLEMENT ACTION PLAN (RAP) SURVEY REPORT FOR THREE SITES (#3) AT IGAYAZA KAKUMIRO DISTRICT.

1.0 INTRODUCTION

As contracted, a Resettlement Action Plan (RAP) Survey was successfully executed to verify and ascertain the Locations, Extent, Existence, developments, and access to the three (#3) Ministry of Water and Environment sites.

2.0 SITE LOCATION AND ACCESS

All the sites are not far from Igayaza Trading Center, Kakumiro District.

2.1 Water treatment site and Water abstraction point

Access to the sites from Igayaza trading center is by turning left at the junction in Igayaza TC for about 2 km to meet a Y junction at Rubasengura TC, then turning right and traveling for about 1 km to access the water treatment site.

Travel by footpath for approximately 200m from the treatment site to access the water abstraction point.

2.2 Water tank

Access to the site from Igayaza trading center is by turning left at the junction in Igayaza TC for about 2km to meet a Y junction at Rubasengura TC, then turning left for approximately 1.2km to meet a T junction, then right again for about 400m and then left onto a footpath for about 450m to access the water tank site.

Bm #1a

AK

2.2 Site coordinates

SITE NAME	NORTHING(m)	EASTING(m)
WATER SOURCE	103938.66	291985.71
WATER TREATMENT PLANT	103987.71	292291.82
WATER TANK	103383.92	293942.13

3.0 INSTRUMENTATION

The instrumentation used for the survey was a differential GNSS equipment base and rover set (CHC i50 model). The coordinate system used was UTM Arc 1960 36N.

4.0 METHODOLOGY

UTM coordinates of the previously selected site areas were provided and set out on the ground to confirm their locations using differential GNSS equipment. Upon setting them out, the various project-affected persons within these areas were then identified in coordination with the relevant local authorities. Recent Cadastral information acquired from the Kibaale Ministerial Zonal Office (MZO) and a Laptop Computer was then used for the surveys in the presence of focal, critical, and relevant stakeholders and local authorities.

5.0 FINDINGS

There was no major dispute(s) during the surveys, with the following findings

- ❖ Information from the National Land Information Systems (NLIS) Database shows that the water source site falls on public land.
- ❖ The water treatment site and water tank site fall on Plot 1 block 56 and Plot 45 block 55 Bugangaizi county, respectively, with absentee landlords.
- ❖ Both the treatment and source sites are of low land, whereas the water tank site is highly elevated.

B. Smith

AR

- ❖ There is no clear access to the sites as the water source, and water tank were accessed via a footpath. An access road of 6m width was designed and set out on the ground for the water treatment site.
- ❖ The water treatment site was found to be approximately 4.79 acres, the water abstraction site approximately 0.947 acres, and the water tank site approximately 0.684 acres.
- ❖ The water abstraction point was found to lie entirely on public land (buffer zone of River Nkusi) but one PAP was found to have planted eucalyptus trees.

6.0 DEVELOPMENTS AND NEIGHBORHOOD

- ❖ The sites are currently used for subsistence farming.

Water treatment site

No.	Name	Serial No.	Acreage (Acres)	Tenure
1	Bishobore John	WSDF-RAB-001	0.414	Sitting Tenant
2	Bishobore John	WSDF-RAB-002	0.111	Sitting Tenant
3	Nalubega Irene	WSDF-RAB-003	0.155	Sitting Tenant
4	Asiimwe Didas & Nyamahunge Justine	WSDF-RAB-004	0.463	Sitting Tenant
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6	Twesigye Evas, Natukunda Justine & Natamba Joselyn	WSDF-RAB-006	0.491	Sitting Tenant
7	Asiimwe Didas & Nyamahunge Justine	WSDF-RAB-007	0.625	Sitting Tenant
8	Owamani Lauben & Tushemereirwe Nathan	WSDF-RAB-008	0.211	Sitting Tenant
9	Adam Ahimbisibwe	WSDF-RAB-009	1.630	Sitting Tenant
10	Akim Umar	WSDF-RAB-010	0.297	Sitting Tenant
11	Taremwa Nyakojo	WSDF-RAB-011	0.246	Sitting Tenant

✦ **Water tank**

No.	Name	Serial No.	Acreage (Acres)	Tenure
1	Kaliisa Andrew	WSDF-IGY-001	0.684	Sitting Tenant

It's total acreage is 0.684 acres and was found to under one sitting tenant.

✦ **Water abstraction point**

No.	Name	Serial No.	Acreage (Acres)	Tenure
1	Mulindwa Muzamiru	WSDF-RAB-012	0.00	License Tenant on public land

It's total acreage is 0.947 acres. It entirely falls within the Nkusi river buffer zone. Three PAPs namely Mulindwa Muzamiru, Ngorogoza David & Midias made claims on this land but the cadaster has it registered as public land held in trust by Uganda Land Commission. This land is not subject to compensation.

Emmett

AK

7.0 CONCLUSION

Information from the National Land Information Systems (NLIS) shows that;

- **Plot 1 block 56** is registered under **Joswa Wante** and **Maria Nadagire**
- **Plot 45 Block 55** is registered under **Paulo Kalisa, Maliko Kulazikulabe, Zirimenya Luwambya Samuel Munaku, Yozuwe Sentamu Manuelli Gavamukulya, Uganda Land Commission, Erisa Kulazikulabe, and Matayo Kyambadde.**

Both plots were shown to have been plotted on blue pages; thus, the title processing is incomplete.

The water abstraction point was found to be on MUJUNGU Crown land & swamp F.A. 415.95 acres

We, therefore, forward this survey report for your further action.

Yours in service,



LWANGA BENJAMIN
Field Surveyor



KITASALA RONALD
Registered Surveyor of Uganda

LIST OF APPENDICES

Appendix I: Location plan of sites

Appendix II: Cadastral Information obtained from the Kibaale MZO

Appendix III: Site Plans of each site_Scale 1:500,1:750 & 1:1250

Telephones
Chief Administrative Officer 0772-601358
Deputy CAO 0772-555400
Chief Finance Officer 0772-519184
District Health Officer 0772-611467
District Planner 0772-437940
District Engineer 0772-420042
DPMO 0772-640527



THE REPUBLIC OF UGANDA

HOIMA DISTRICT LOCAL GOVERNMENT
P. O. BOX 2
HOIMA
UGANDA

Email: caohoima@yahoo.com
cao@hoima.go.ug

In any correspondences on
this matter please quote Ref: No. CR 103/1.

10th February, 2022.

The Chief Government Valuer
Ministry of Lands, Housing and Urban Development
P.O. Box 7061
KAMPALA.



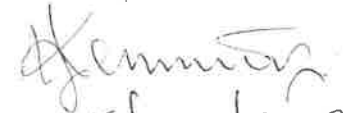
HOIMA DISTRICT APPROVED COMPENSATION RATES FOR THE FINANCIAL YEAR 2021/2022.

Hoima District Land Board at its meeting held on Monday 7th February, 2022 under minute HDLB 01/2022(2), approved the draft Hoima District Compensation Rates for the Financial Year 2021/2022.

The purpose of this letter is to forward to you a copy of the draft Hoima District Compensation Rates for Financial Year 2021/2022 for your appropriate action.


For; CHIEF ADMINISTRATIVE OFFICER.


- CC: The District Chairperson/Hoima.
- CC: The Resident District Commissioner/Hoima
- CC: The Chairman, District Land Board/Hoima

Maryfrances
FYA - Km

14/02/2022

**HOIMA DISTRICT PROPOSED LIST OF RATES OF COMPESATION IN
UGANDA SHILLINGS FOR CROPS/TREES AND VARIOUS NON-PERMANENT
PROPERTIES FOR FINANCIAL YEAR 2021/2022.**

Item No.	Description	FY2020/2021 Approved Rates	FY2021/2022 Proposed Rates	Remarks
1	Tins/ Ddebe roofing, Mud &wattle walls, bare floor	75,000/m ²	85,000/m ²	
2	Grass thatched roof, walls of mud blocks, cement screen floor	110,000/m ²	130,000/m ²	
3	Grass thatched roof, walls of Mud blocks, bare floor	80,000/m ²	100,000/m ²	
4	Grass thatched roof, walls of mud &wattle, bare floor	70,000/m ²	80,000/m ²	
5	Pit latrine with poles covered	7,000 per foot deep for the first five ft. 12,000 per foot for the extra feet	11,000 per foot deep 13,000 per foot for extra deep	
6	Pit latrine with poles covered,	7,000 per foot deep for the 1 st 10ft		Rate for pit super structure

 HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022

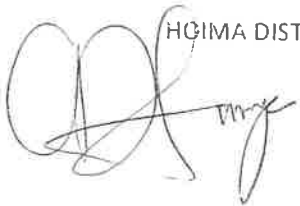
	super structure of mud& wattle walls	12000/m ² next feet		to be applied concurrently,
7 (a)	Grave, bare ground	800,000 per unit	1,000,000 per unit	Costs of relocating the grave to be determined by valuer on site/CGV.
(b)	Finished with cement construction on top	1,500,000 per unit	1,800,000 per unit	Cost for relocating the grave to be determined by the valuer on site/ CGV.
(c)	Finished with marble	1,800,000 per unit	2,200,000 per unit	Costs of relocating the grave to be determined by the valuer on site/ CGV.
8(a)	Bath enclosures grass thatched	30,000 per unit	40,000 per unit	
(b)	Bath enclosures with G.C.I sheets	60,000 per unit	75,000 per unit	
(c)	Tins /Ddebes	50,000 per unit	65,000 per unit	
(d)	Poles and reeds	30,000 per unit	45,000 per unit	

9	Live fence with 3 stands of barbed wire	30,000 per running meter	45,000 per running meter	
10 (a)	Other building structures G.C.I.S roof & semi-permanent walls, bare floor.	160,000/m ²	175,000 /m ²	
(b)	G.C.I.S roof & semi-permanent walls, cement screed floor	190,000/m ²	220,000/m ²	
(c)	Tins/ Ddebe walls & roof, bare floor	60,000/m ²	75,000/m ²	
(d)	Tins/Ddebe walls& roof, cement floor	80,000/m ²	110,000/m ²	
(e)	Cup/plate racks, reeds & cans (good condition)	40,000/m ²	55,000/m ²	
(f)	Cup/plate rack Ddebes/ G.C.I (good condition)	50,000 per unit	65,000/m ²	
(g)	Grass thatched kitchen house supported on poles	30,000/m ²	45,000/m ²	
11	Cattle enclosures on local treated	35,000 per running meter	45,000 per running meter	

	poles with 4NO. strands barbed wire			
12	Live hedges (Kraal) with 3 stands of barbed wire	30,000 per running metre	45,000 per running meter	
13	Ruyenje/Rukoni with 3 stands of barbed wire.	20,000 per running meter	38,000 per running meter	
14 (a)	Granaries big size (5 Tons & above).	80,000 per unit	100, 000per unit	
(b)	Granaries Medium size (1-5 tons)	60,000 per unit	75,000 per unit	
(c)	Granaries small size (less or equal to 1ton).	40,000 per unit	55,000 per unit	
15	Coffee drying tray cement finish	35,000/m ²	45,000/m ²	
16 (a)	Murram (per cubic meter)	12,000/m ²	14,000/m ²	
(b)	Sand (per cubic meter)			Valuer on site to assess
17	Calf house with timber railings and iron sheets, cement floor.			Valuer on site to assess

18	Calf house on local poles and grass thatched	25,000/m ²	35,000/m ²	
19	Cattle crush on treated fencing posts and railings			Valuer to assess
20	Goats shed, grass thatched roof supported on poles	25,000/m ²	35,000/m ²	
21	Cattle crush on local poles	25,000 per running metre	35,000 per running meter	
22	Night boma on local poles	12,000 per running metre	14,000 per running meter	
23 (a)	Cattle dip (good)			To be assessed by CGV/ valuer on site
(b)	Cattle dip (fair)			To be assessed by CGV/valuer on site. Consult vet officers like fisheries.
(c)	Cattle dip (poor)			Consult vet officers like fisheries.
24	Valley tank			Valuer on site to assess

HCIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



25 (a)	Cattle shed (cemented +iron roofed)			Valuer on site to assess
(b)	Cattle shed (bare floor + grass thatched roof.	30,000/m ²	45,000/m ²	
26(a)	Calf pen (cemented+ iron sheets +brick walls)			To be assessed by CGV/valuer on site.
(b)	Calf pen (local materials/ semi- permanent)	60,000/m ²	75,000/m ²	Valuer on site to handle
27	Night boma of 10X10m on treated poles.	20,000 per unit	35,000 per unit	
28	Chicken house mud and wattle, grass thatched	35,000/m ²	45,000/m ²	
29 (a)	Tobacco barn, air cured	25,000/m ²	35,000/m ²	
(b)	Tobacco barn, fire cured	35,000/m ²	45,000/m ²	
30(a)	Bananas very good and mature	70,000 per clump 23,500,000 per Acre	85,000 per clump 24,500,000 per Acre	
(b)	Bananas averagely maintained and mature	40,000 per clump 19,000,000 per Acre	55,000 per Clump 22,000,000 per Acre	

HQIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(c)	Bananas poorly maintained and mature	20,000 per clump 7,000,000 per acre	30,000 per Clump 8,000,000 per Acre	
(d)	Banana young and good (productive)	15,000 per clump 6,600,000 per acre	20,000 per clump 7,700,000 per Acre	
(e)	Bananas young and poorly maintained (non-productive)	9,000 per clump 3,400,000 per Acre	10,000 per clump 4,500,00 per acre	
(f)	Newly planted banana sucker (seedling)	6,500 per clump 2,800,000 per Acre	7,500 per clump 3,000,000 per acre	
31a)	Elite Robusta coffee mature and good	50,000 per tree 7,500,000 per acre	70,000 per tree 8,500,000 per acre	The cost production of coffee and bananas are more less the same
(b)	Elite Robusta Coffee mature and average	30,000 per tree 1,350,000 per Acre	65,000 per tree 5,500,000 per acre	
(c)	Elite Robusta Coffee mature poorly maintained	15,000 per tree 3,500,000 per acre	30,000 per tree 4,500,000 per acre	
(d)	Elite Robusta Coffee young and good	20,000 per tree 4,500,000 per acre	30,000 per tree 5,500,000 per acre	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(e)	Elite Robusta Coffee young poorly maintained	10,000 per tree 2,300,000 per acre	15,000 per tree 2,700,000 per acre	
(f)	Non-Elite Coffee mature well maintained	50,000 per tree 8,200,000 per acre	65,000 per tree 9,000,000 per acre	
(g)	Non-Elite Coffee mature poorly maintained	15,000 per tree 2,500,000 per Acre	30,000 per tree 3,200,000 per Acre	
(h)	Non-Elite Coffee young well maintained	20,000 per tree 3,500,000 per acre	35,000 per tree 4,000,000 per Acre	
(i)	Non-Elite Coffee young poorly maintained	10,000, per tree 2,500,000 per acre	20,000 per tree 3,200,000 per Acre	
(j)	coffee seedlings	2,000per seedling	3500 per seedling	
32 (a)	Cocoa mature	100,000 per tree	150,000 per tree	
(b)	Cocoa Medium	60,000 per tree	80,000 per tree	
(c)	Cocoa young	40,000per tree	50,000 per tree	
(d)	Cocoa seedling	2,000 per seedling	3,500 per seedling	
33 (a)	Tea clonal mature (above 3years)	85,000 per plant	100,000 per plant	
(b)	Tea clonal mature (Below 3years)	20,000 per plant	30,000 per plant	
(c)	Tea clonal seeding	5000 per seedling	6,500 per seedling	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



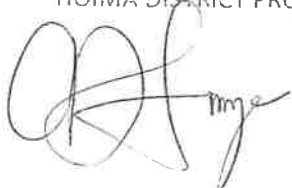
(d)	Tea ordinary mature (above 4 years)	85,000 per plant	100,000 per plant	
(e)	Tea ordinary young (below 4 years)	17,000 per plant	20,000 per plant	
(f)	Tea ordinary seedling	5,000,per seedling	6,000 per seedling	
34(a)	Sugarcane mature (ordinary Type)	25,000 per stool	35,000 per stool	
(b)	Sugarcane medium	15,000 per stool	25,000 per stool	
(c)	Sugarcane young	10,000 per stool	20,000 per stool	
35 (a)	Pineapples mature and good	5,000 per stool	10,000 per seedling	
(b)	Pineapples young and good	2,000 per stool	35,00per tree	
36 (a)	Pawpaw mature local yielding	40,000 per tree	55,000 per tree	
(b)	Pawpaw local medium	20,000 per tree	30,000 per tree	
(c)	Pawpaw local young	10,000 per tree	20,000 per tree	
(d)	Newly planted local pawpaw seedling	3,000 per seedling	4,000 per seedling	
(e)	Pawpaw exotic mature/ yielding	45,000 per tree	50,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(f)	Pawpaw's exotic medium	30,000per tree	40,000 per tree	
(g)	Pawpaw's exotic young	20,000 per tree.	30,000 per tree	
(h)	Pawpaw's exotic seedling well maintained	4,000 per tree.	5000	
37(a)	Mangoes Ordinary mature good	350,000 per tree.	450,000 per tree	
(b)	Mangoes medium	250,000 per tree.	300,000 per tree	
(c)	Mangoes young	50,000 per tree.	6,000 per seedling	
(d)	Newly planted mango seedling properly maintained	5,000 per seedling	6,000 per tree	
(e)	Mangoes grafted mature	400,000 per tree	500,000 per tree	
(f)	Mangoes grafted medium	300,000 per tree	400,000 per tree	
(g)	Mangoes grafted young	120,000 per tree	150,000 per tree	
(h)	Newly planted Mangoes grafted seedling	10,000 per seedling	12,000 per seedlings	
38 (a)	Jack fruit mature yielding(very good)	250,000 per tree	300,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(b)	Jack fruit medium (very good)	200,000 per tree	250,000 per tree	
(c)	Jack fruit young	100,000 per tree	150,000 per tree	
(d)	Newly planted jack fruit seedling	10,000 per seedling	15,000 per seedlings	
39 (a)	Avocado local and mature yielding	200,000 per tree	250,000 per tree	
(b)	Avocado local medium	150,000 per tree	300,000 per tree	
(c)	Avocado local young	60,000 per tree	70,000 per tree	
(d)	Newly planted avocado local seedling	5,000 per tree	10,000 per tree	
(e)	Avocado improved mature	300,000 per tree	350,000 per tree	
(f)	Avocado improved medium	200,000 per tree	230,000 per tree	
(g)	Avocado grafted young	150,000 per tree	200,000 per tree	
(h)	Newly planted avocado grafted seedling	10,000 per seedling	15,000 per seedlings	
40	Beans			
	Mature	1,200,000 per Acre	1,500,000 per acre	
	Average	500,000 per Acre	750,000 per acre	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



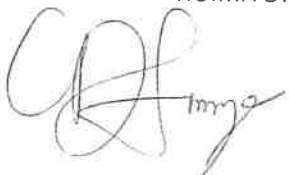
	young	400,000 per Acre	550,000 per acre	
41	Soya Beans			
	Mature	2,000,000 per Acre	2,500,000 per acre	
	Average	1,260,000 per Acre	2,000,000 per acre	
	young	1,000,000 per Acre	1,200,000 per acre	
42	G/nuts			
	Mature	3,000,000 per Acre	3,500,000 per acre	
	Average	1,600,000 per Acre	2,000,000 per acre	
	young	1,000,000 per Acre	1,400,000 per acre	
43	Sweet potatoes			
	Mature	1,500,000 per Acre	2,000,000 per acre	
	Average	1,200,000 per Acre	1,500,000 per acre	
	young	700,000 per Acre	1,000,000 per acre	
44	Onions			
	Mature	1,250,000per Acre	2,500,000 per acre	
	Average	1,500,000 per Acre	2,000,000 per acre	
	young	950,000per Acre	1,200,000 per acre	
45	Sorghum			
	Mature	1,200,000per Acre	1,500,000 per acre	
	Average	900,000 per Acre	1,200,000 per acre	
	young	420,000 Per Acre	600,000 per acre	
46	Maize			
	Mature	1,500,000 per Acre	2,000,000 per acre	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



	Average young	700,000 per Acre 500,000 per Acre	1,000,000 per acre 700,000 per acre	
47	Cowpeas Mature Average young	1,400,000 per Acre 1,200,000 per Acre 600,000 per Acre	1,700,000 per acre 1,400,000 per acre 800,000 per acre	
48	Cassava mature	10,000 per plant Up to 100m ² 3,000,000 per Acre	15,000 per plant up to 100m ² 3,500,000 per acre	
	Cassava average	5,000 per plant Up to 100m ² 1,500,000 per Acre	10,000 per plant up to 100m ² 2,000,000 per acre	
	Cassava mature	1,000 per plant Up to 100m ² 500,000 per acre	2000 per plant up to 100 m ² 2,500,000 per acre	
49	Sim sim Mature Average Young	2,500,000 per Acre 1,000,000 per Acre 550,000 per Acre	3,000,000 per acre 1,500,000 per acre 800,000 per acre	
50	Finger millet Mature Average young	2,000,000 per Acre 1,000,000 per Acre 500,000 per Acre	2,500,000 per acre 1,500,000 per acre 800,000 per acre	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



51	Cotton Young	1,200,000 per Acre	1,500,000 per acre	
52	Irish potatoes Mature Average young	3,000,000 per Acre 2,500,000 per Acre 2,000,000 per Acre	3,500,000 per acre 3,000,000 per acre 2,500,000 per acre	
53	Tomatoes Mature Average young	10,000,000 per Acre 6,000,000 per Acre 1,000,000 Per Acre	1,200,000 per acre 8,000,000 per acre 2,000,000 per acre	
54	Cabbage Heads Mature Average young	4,000,000 per Acre 1,500,000 per Acre 500,000 per Acre	5,000,000 per acre 2,000,000 per acre 800,000 per acre	
55	Egg plant Mature Average Young	1,200,000 per acre 400,000 per acre 250,000 per acre	1,500,000 per acre 600,000 per acre 350,000 per acre	
56(a)	Tobacco mature Average	2,500,000 per Acre 800 per plant	3,000,000 per acre 1,000,000 per plant	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



	young	300 per plant	800 per plant	
(b)	Well maintained tobacco seedbed (Nursery)	200,000 per seed bed	300,000 per seed bed	
57	Oranges local			
(a)	Mature	200,000 per plant	250,000 per plant	
(b)	Average	150,000 per plant	200,000 per plant	
(c)	young	80,000 per plant	100,000 per plant	
(d)	Newly planted Orange seedling local	5,000 per plant	10,000 per plant	
(e)	Oranges Mature grafted	350,000 per plant	400,000 per plant	
(f)	Oranges medium grafted	200,000 per plant	250,000 per plant	
(g)	Oranges young grafted	100,000 per plant	150,000 per plant	
(h)	Newly planted Oranges seedling grafted	5,000 per plant	100,000 per plant	
58 (a)	Guava mature local	50,000 per plant	60,000 per plant	
(b)	Guava medium local	30,000 per plant	40,000 per plant	
(c)	Guava young local	20,000 per plant	30,000 per plant	

HO:IMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(d)	Newly planted guava seedling local	5,000 per plant	6000 per plant	
(e)	Guava mature grafted	80,000 per plant	100,000 per plant	
(f)	Guava medium graded	50,000 per plant	60,000 per plant	
(g)	Guava young grafted	30,000 per plant	40,000 per plant	
(h)	Newly planted guava seedling grafted	5,000 per plant	10,000 per plant	
59 (a)	Passion fruit grafted mature	150,000 per plant	200,000 per plant	
(b)	Passion fruit grafted medium	100,000 per plant	150,000 per plant	
(c)	Passion fruit grafted young	70,000 per plant	80,000 per plant	
(d)	Newly planted passion fruit grafted seedling	10,000 per plant	15,000 per plant	
(e)	Passion fruit local mature	100,000 per plant	120,000 per plant	
(f)	Passion fruit local medium	50,000 per plant	60,000 per plant	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(g)	Passion fruit local young	25,000 per plant	30,000 per plant	
(h)	Newly planted passion fruit local seedling	10,000 per plant	15,000 per plant	
60(a)	Sisal mature	3000 per stool	5000 per stool	
(b)	Young sisal garden	1500 per stool	2000 per stool	
61 (a)	Okra mature	10,000 per plant	15,000 per plant	
(b)	Okra young	5,000 per plant	10,000 per plant	
62 (a)	Loofah (kyangwe/ sponge) mature	10,000 per plant	12,000 per plant	
(b)	Loofah (kyangwe/ Sponge) young	4,000 per plant	5000 per plant	
(c)	Loofah (kyangwe/ sponge) seedlings well maintained	1,000 per plant	2,000 per plant	
63(a)	Coco yam mature	3,000 per plant	5,000 per plant	
(b)	Coco yam young	1,000 per plant	2,000 per plant	
64 (a)	Gourds big type	15,000 per plant	20,000 per plant	
(b)	Gourds small type	10,000 per plant	15,000 per plant	
65	Pumpkins	60,000 per plant	70,000 per plant	
66(a)	Water melon mature bearing	60,000 per plant	70,000 per plant	
(b)	Water melon young	20,000 per plant	30,000 per plants	
67	Hot pepper (chilli)	5,000 per plant	10,000 per plant	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022

(b)	Yams (barungu) young	5,000 per plant	8,000 per plant	
(c)	Yams (bwaise) mature	3,000 per plant	5,000 per plant	
(d)	Yams (bwaise) young	5,000 per plant	10,000 per plant	
75 (a)	Tangerines local (maganda) mature	150,000 per tree	200,000 per tree	
(b)	Tangerines local (maganda) average	60,000 per tree	70,000 per tree	
(c)	Tangerines local(young)	20,000 per plant	30,000 per plant	
(d)	Newly planted tangerines local seedling	1,000 per seedling	2,000 per seedling	
76(a)	Tangerines grafted (maganda) mature	200,000 per tree	250,000 per tree	
(b)	Tangerines grafted (maganda) average	100,000 per tree	150,000 per tree	
(c)	Tangerines grafted (maganda) young	50,000 per tree	60,000 per tree	
(d)	Newly planted Tangerines grafted (maganda) seedlings	4,000 per tree	5,000 per tree	
77 (a)	Lime local mature	300,000 per tree	350,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(b)	Newly planted lime seedlings well maintained	5,000 per tree	6,000 per tree	
(c)	Lime grafted mature	300,000 per tree	320,000 per tree	
(d)	Newly planted lime grafted seedling	5,000 per tree	6,000 per tree	
78 (a)	Lemon local (Ndimawo)	150,000 per tree	200,000 per tree	
(b)	Newly planted lemon local seedling	5,000 per tree	6500 per tree	
(c)	Lemon grafted (ndimawo)	200,000 per tree	250,000 per tree	
(d)	Newly planted lemon grafted seedling	5000 per seedling	6,000 per seedling	
79 (a)	Grape fruit local (secunguwa)	150,000 per tree	180,000 per tree	
(b)	Grape local seedling	5,000 per seedling	6,000 per seedling	
(c)	Grape fruit grafted	200,000 per tree	230,000 per tree	
(d)	Newly planted grape grafted seedling	5,000 per seedling	6,000 per seedling	
80	Bamboos	100,000 per stool	120,000 per stool	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



81	Pigeon peas	900,000 per acre	1,000,000 per acre	
82	Tobacco barn	Refer to structures schedule		
83	Rice mature	2,500,000 per acre	3,000,000 per acre	
	Young	1,000,000 per acre	1,500,000 per acre	
84	Hedges	10,000 per running metre	20,000 per running metre	
85	Cadle nut (kabakanjagala)	80,000 per tree	100,000 per tree	
	Medium	40,000 per tree	50,000 per tree	
	Young	10,000 per tree	20,000 per tree	
86	Cadle nut seedling	5,000 per seedling	6,000 per seedling	
87	Mulberry plants	20,000 per plant	25,000 per plant	
88	Sunflower	1,000,000 per Acre	1,300,000 per plant	
89	Cashew nuts	120,000 per tree	125,000 per tree	
	mature	80,000 per tree	100,000 per tree	
	Average	40,000 per tree	50,000 per tree	
	Young			
90	Sukuma week mature	10,000/ m ²	30,000 per plant	
91	West Nuts (Climbing Nuts) Mature	25,000 per plant	100,000 per tree	
92(a)	Neem tree mature	85,000 per tree	100,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(b)	Neem tree average	40,000 per tree	50,000 per tree	
(c)	Neem tree young	30,000 per tree	40,000 per tree	
(d)	seedlings	3000 per seedlings	4,000 per seedling	
93 (a)	Caliandra mature	30,000 per tree	40,000 per tree	
(b)	Calindra young	10,000 per tree	20,000 per tree	
94 (a)	Leucaena mature	30,000 per tree	40,000 per tree	
(b)	Leucaena young	10,000 per tree	20,000 per tree	
95 (a)	Moringa mature	85,000 per tree	95,000 per tree	
(b)	Moringa young	30,000 per tree	40,000 per tree	
96	Aloe vera	2,000,000 per Acre 2,000 per plant	2,200,000 per acre 3,000 per plant	Rate per plant is only applicable when the plants are few.
97(a)	Eucalyptus mature tree(electric pole size)	150,000 per tree	200,000 per tree	
(b)	Eucalyptus (telephone pole size)	80,000 per tree	100,000 per tree	
(c)	Eucalyptus (timber size)	200,000 per tree	250,000 per tree	Pay and allow harvest.
(d)	Eucalyptus (rafter building size)	15,000 per tree	30,000 per tree	
(e)	Eucalyptus sapling well maintained	5,000 per tree	10,000 per tree	
(f)	Eucalyptus seedling	2000 per seedling	3,000 per seedling	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



98(a)	Mvule tree mature timber size	500,000 per tree	600,000 per tree	Pay and allow harvest.
(b)	Mvule tree medium	300,000 per tree	350,000 per tree	
(c)	Mvule sampling well maintained(young)	50,000 per tree sampling	60,000 per tree sampling	
(d)	Mvule seedling	5,000 per seedling		
99 (a)	Mahogany mature tree timber size	500,000 per tree	600,000 per tree	Pay and allow harvesting
(b)	Mahogany medium size	400,000 per tree	500,000 per tree	
(c)	Mahogany seedlings well maintained	50,000 per seedling	60,000 per seedling	
(d)	Mahogany seedling	5,000 per seedling	6000 per seedling	
100(a)	Cyprus mature tree timber size	300,000 per tree	400,000 per tree	Pay and allow harvest
(b)	Cyprus medium size	150,000 per tree	200,000 per tree	
(c)	Sapling (young)	50,000 per tree	100,000 per tree	
(d)	Cyprus seedlings well maintained	5,000 per seedling	6,000 per seedling	
101(a)	Pine mature tree timber size	200,000 per tree	250,000 per tree	Pay and allow harvest
(b)	Pine medium tree electric pole size	150,000 per tree	180,000 per tree	
(c)	Pine young tree	50,000 per tree	60,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(d)	Pine seedling well maintained	5,000 per seedling	6000 per seedling	
102(a)	Musizi mature tree timber size	300,000 per tree	350,000 per tree	Pay and allow harvest
(b)	Musizi medium tree	160,000 per tree	200,000 per tree	
(c)	Musizi young tree	40,000 per tree	50,000 per tree	
(d)	Musizi sampling well maintained	20,000 per sampling	30,000 per sampling	
(e)	Musizi seedling	5,000,per seedling	6,000 per seedling	
103(a)	Acacia mature	30,000 per tree	40,000 per tree	
(b)	Acacia young	15,000 per tree	20,000 per tree	
104(a)	Bush mature trees(unclassified)	30,000 per tree	40,000 per tree	
	Medium	15,000 per tree	20,000 per tree	
	Young	5,000 per tree	10,000 per tree	
105(a)	Musambya tree mature timber size	150,000 per tree	200,000 per tree	
(b)	Musambya tree medium building size	70,000 per tree	100,000 per tree	
(c)	Musambya tree building pole size	20,000 per tree	30,000 per tree	
(d)	Musambya tree young	5,000 per sampling	8,000 per sampling	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



106(a)	Jambura tree mature (timber size)	150,000 per tree	200,000 per sampling	Pay and allow harvesting.
(b)	Jambura tree medium	100,000 per tree	150,000 per tree	
(c)	Jambura tree young	40,000 per tree	50,000 per tree	
(d)	Jambura seedling	5,000 per tree	8,000 per tree	
107(a)	Makoonga tree mature	250,000 per seedling	300,000 per tree	Pay and allow harvest
(b)	Makonge tree medium	200,000 per tree	250,000 per tree	
(c)	Makoonge tree young	120,000 per tree	150,000 per tree	
(d)	Makoonge tree seedling	5,000 per seedling	6000	
108(a)	Muwafu tree mature	250,000 per tree	300,000 per tree	
(b)	Muwafu tree medium	150,000 per tree 120,000 per tree	200,000 per tree 150,000 per tree	
(c)	Muwafu tree young	80,000 per tree	100,000 per tree	
(d)	Muwafu tree seedling	5,000 per tree	6000 per tree	
109(a)	Ficus bark cloth mature	150,000 per tree	200,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



(b)	Ficus bark cloth medium	100,000 per tree 80,000 per tree	120,000 per tree 100,000 per tree	
(c)	Ficus bark cloth young	30,000 per tree	40,000 per tree	
(d)	Ficus bark cloth sprouting cutting	5,000 per tree	6000 per tree	
110(a)	Rubber mature	80,000 per tree	100,000 per tree	
(b)	Rubber medium	50,000 per tree	80,00 per tree	
(c)	Rubber young	30,000 per tree	50,000 per tree	
(d)	Rubber well maintained seedling	5,000 per seedling	6,000 per seedling	
111(a)	Planted palm tree mature Medium Young	80,000 per tree 50,000 per seedlings 20,000 per seedlings	100,000 per tree 50,000 per tree 50,000 per tree	
(b)	Palm tree seedling	5,000 per seedling	6,000 per seedling	
112(a)	Lawn grass (compound grass)	4000/m ²	5000/m ²	
113	Reeds	4000/m ²	5000/m ²	
115	Spear grass	1500m ²	2000/m ²	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



116(a)	Earth fish pond well maintained and stocked			CGV and fisheries department
(b)	Earth fish pond averagely maintained and stocked			CGV and fisheries department
(c)	Earth fish pond poorly maintained and stocked			CGV and fisheries department
(d)	Earth fish pond well-constructed but pending stocking			CGV and fisheries department
(e)	Earthen fish pond stocked with cages			CGV and fisheries department
117(a)	Concrete fish pond well maintained and stocked			CGV and fisheries department
(b)	Concrete fish pond averagely maintained and stocked			CGV and fisheries department
(c)	Concrete fish pond poorly maintained and stocked			CGV and fisheries department
(d)	Concrete new fish pond well-constructed but pending stocking			CGV and fisheries department
(e)	Concrete fish pond stocked with fish cages			CGV and fisheries department
118(a)	Fish pond lined with polythene well-			CGV and fisheries department

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



	maintained and stocked			
(b)	Fish pond lined with polythene averagely maintained and stocked			CGV and fisheries department
(c)	Fish pond lined with polythene poorly maintained and stocked			CGV and fisheries department
(d)	Fish pond lined with polythene well-constructed but pending stocking			CGV and fisheries department
(e)	Fish pond lined with polythene stocked with fish cages			CGV and fisheries department
119	Fish tanks			CGV and fisheries department
120	All bee hives not colonised	137,000 per bee hive	140,000 per bee hive	For relocation of hives and resetting
121	All colonised bee hives	250,000 per bee hive	280,000 per bee hive	Colonies might die or swarm away for the swam which can easily be present.
122	Senna didymotra (omukyora) mature	50,000 per tree	80,000 per tree	
123	Senna didymotra (omukyora) young	20,000 per tree	30,000 per tree	

HOIMA DISTRICT PROPOSED COMPENSATION RATES FOR FY 2021/2022



In fulfilment of the land act sections 59(1) (e-f) & 77 of 2008 as amended 2010 and the land regulations 24 of 2004.

The compensation rates FY 2021/2022 approved by Hoima District Land Board in their meeting of 7th February, 2022 under land board minute: HDLB 01/2022 (2) are waiting scrutiny by the office of the chief government.



Ireeba Yusitasi

Chairman,

Hoima District Land Board.

Dated.....7th Feb 2022



Amany George

Secretary,

Hoima District Land Board

Dated7th Feb 2022

**WSD-F-C FACILITY IN RUBASENGURA CELL, BIREMBO WARD, IGAYAZA TOWN COUNCIL, KAKUMIRO DISTRICT
 DETAILED VALUATION AND COMPENSATION ASSESSMENT FOR THE WATER TREATMENT PLANT AND WATER TANK SITE**

Serial No.	Name of owner	Land Tenure	Land Taken (Acres)	Rate per Acre	Value (U.shs)	Property	Description	Improvements	Area (sqm)	Rate	Value (U.shs)	Type of crop/tree	Crops & Trees			Buildings/ Structures	Crops/ Trees	Land/ Kibanja	Summary of Assessment			Remarks
													Description	Qty	Rate				Value (U.shs)	Sub- Total	Dist. Allow 30%	
RUBASENGURA CELL BIREMBO WARD IGAYAZA TOWN COUNCIL KAKUMIRO DISTRICT																						
WATER TREATMENT PLANT SITE																						
WSD-F-RAB-001A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.414	18,000,000	2,235,600													2,235,600	2,235,600	670,680	2,906,280	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-002A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.111	18,000,000	599,400													599,400	599,400	179,820	779,220	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-003A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.155	18,000,000	837,000													837,000	837,000	251,100	1,088,100	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-004A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.463	18,000,000	2,500,200													2,500,200	2,500,200	750,060	3,250,260	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-005A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.107	18,000,000	577,800													577,800	577,800	173,340	751,140	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-006A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.491	18,000,000	2,851,400													2,851,400	2,851,400	795,420	3,446,820	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-007A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.625	18,000,000	3,375,000													3,375,000	3,375,000	1,012,500	4,387,500	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-008A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.211	18,000,000	1,139,400													1,139,400	1,139,400	341,820	1,481,220	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-009A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	1.630	18,000,000	8,802,000													8,802,000	8,802,000	2,640,600	11,442,600	Area includes that taken up as an access road to the site Absentee Landlord interest in case they come up with a title
WSD-F-RAB-010A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.297	18,000,000	1,603,800													1,603,800	1,603,800	481,140	2,084,940	Absentee Landlord interest in case they come up with a title
WSD-F-RAB-011A	JOSWA WANTE AND MARIA NDAGIRE	LANDLORD ON PLOT 1 BLOCK 56	0.248	18,000,000	1,328,400													1,328,400	1,328,400	398,520	1,726,920	Absentee Landlord interest in case they come up with a title
IGAYAZA A CELL KABOJANA WARD IGAYAZA TOWN COUNCIL KAKUMIRO DISTRICT																						
WATER TANK SITE																						
WSD-F-IGY-001A	PAULO KALISA, MALIKO KULAZIKULABE, ZIRIMENYA LUWAMBYA SEMUEL MUNAKU, YOZUWE SENTAMU MANUELI GAVAMUKULYA, UGANDA LAND COMMISSION, ERISA KULAZIKULABE, AND MATAYO KYAMBADDE.	LANDLORD ON PLOT 45 BLOCK 55	0.684	18,000,000	3,693,600													3,693,600	3,693,600	1,108,080	4,801,680	This is the site where the water tank to supply the various town councils will be built
			9.439		29,343,600													29,343,600	29,343,600	8,803,080	38,146,680	





GENERAL NOTES

Datum ARC 1960
 Projection UTM
 Zone 36 N
 Paper Size A4
 Scale Custom
 Grid Interval NA

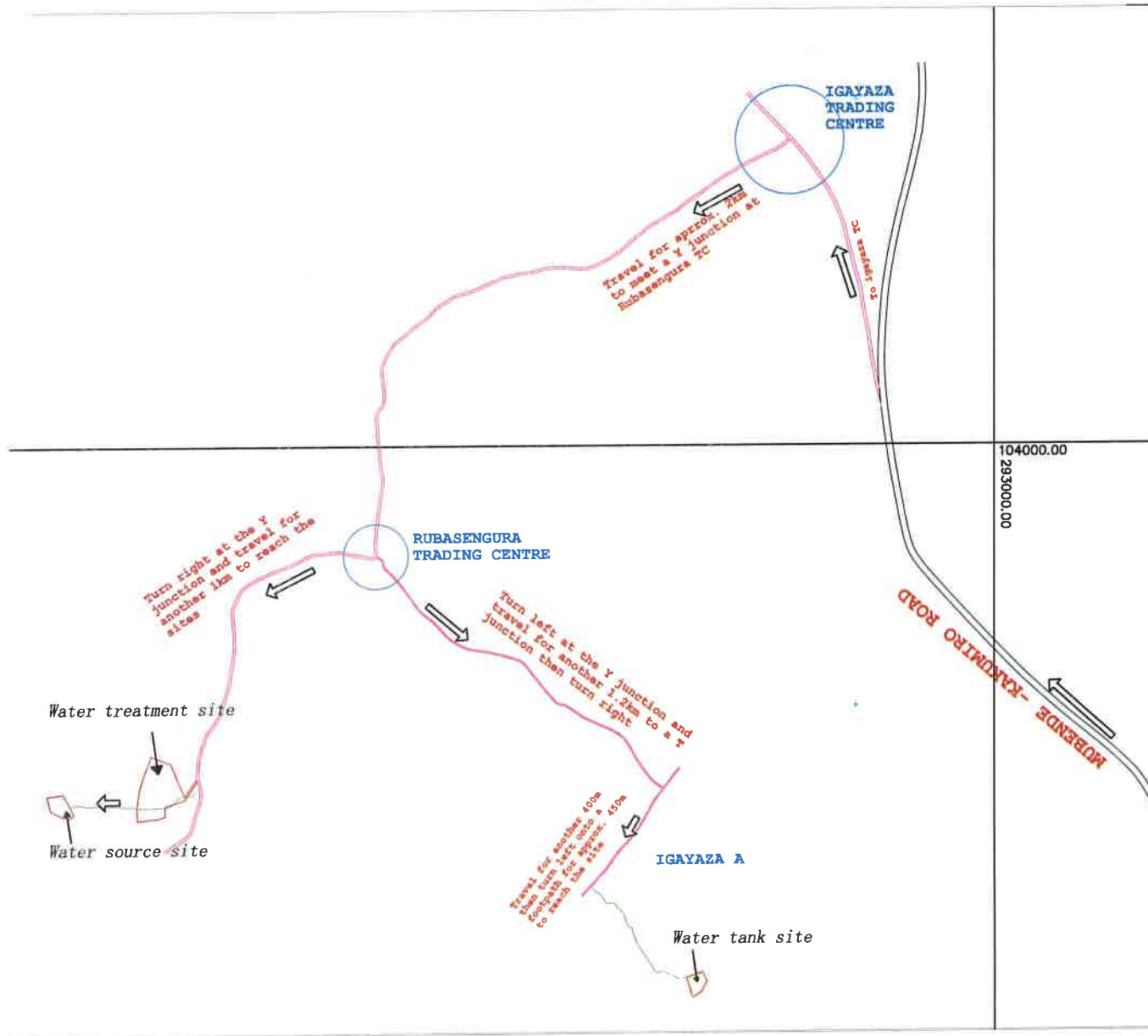
All units of measurement are in Metric Meters (m) unless otherwise specified.

The representation of a Road, Track, or Footpath is not evidence of a Right of Way (RoW)

Any error(s), omission(s) and / or mistakes MUST be reported, otherwise we apologize for any inconvenience(s) caused.

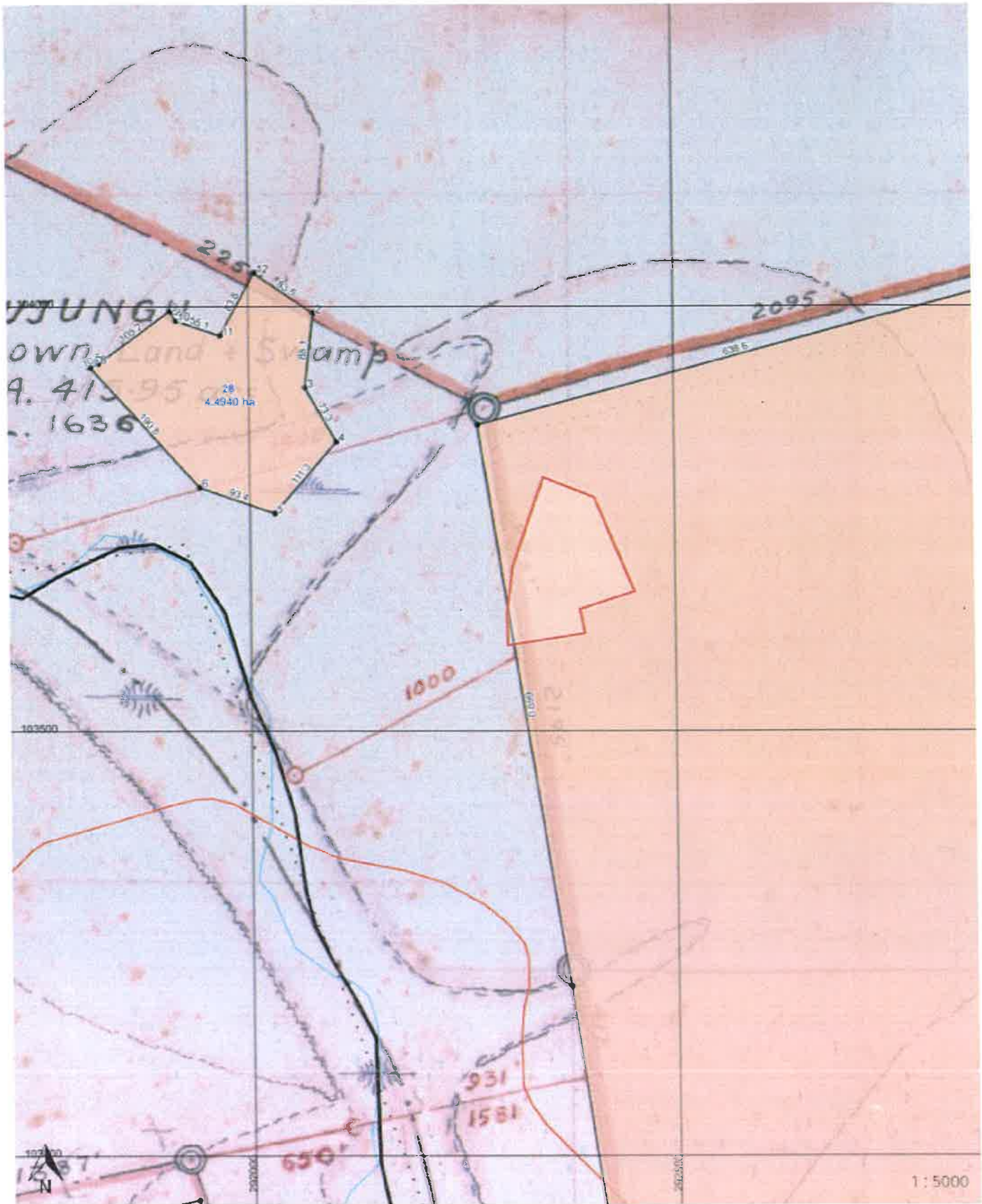
LEGEND

- Subject sites
- Access road
- Footpath
- Direction



A		Jan 2023	NA	Issued For Inter Discipline Check	0	C.O	C.O
Rev.	Date	Status	Revision Description	Iss.	Check	Appr.	
CONSULTANT:		Segamu 14 Consults Ltd.					
CLIENT:		Ministry of Water and Environment MoWE WSD F- C Kakumiro district					
Alliote: MoWE		Shc: Igayaza		Project Phase: NA			
CONSULTANCY SERVICES TO UNDERTAKE LOCATION, RECONNAISSANCE, TOPOGRAPHIC, CADASTRAL AND VALUATION SURVEYS IN WSD F- C AREA OF OPERATION IN CENTRAL REGION UNDER A FRAMEWORK CONTRACT							
Discipline:	SRH	Doc. Type:	SRV	Sector:	PS	System:	NA
Company Doc. No.:	SCL/CS/2023/09			Class:	1	Scale:	Custom
Contractor Doc. No.:				Format:	A4	Folio:	1 of 1

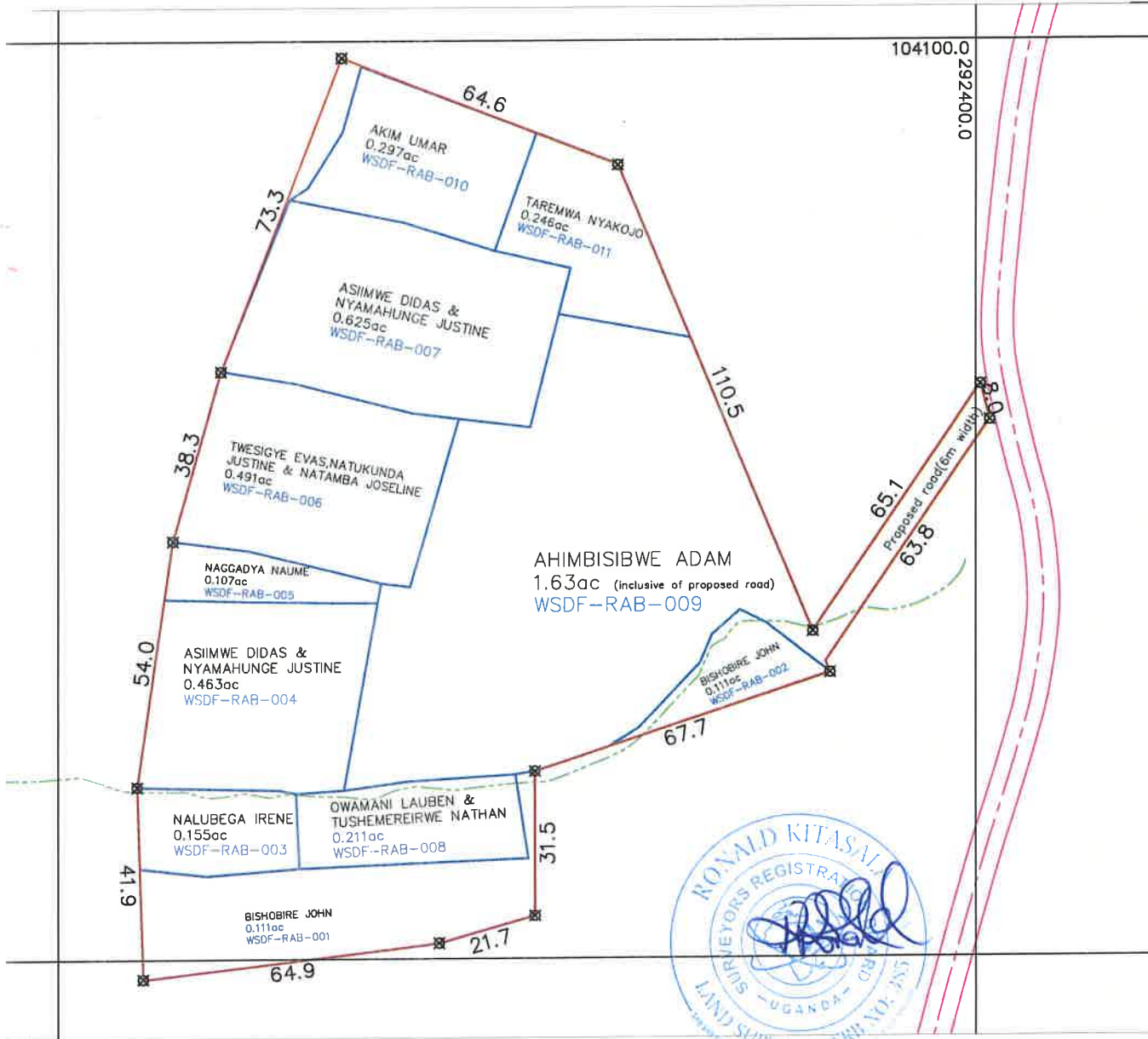
Samithi



2022-11-01
ITRF2005 / UTM zone 36N

WATER TREATMENT PLANTLAND MEASURING 4.639
ACRESFALLS IN BUGANGAIZI BLOCK 56 PLOT 1 (BLUE
PAGES) FOR JOSWA WANTE AND MARIA NADAGIRE

WATER TREATMENT SITE



GENERAL NOTES

Datum: ARC 1960
 Projection: UTM
 Zone: 36 N

Paper Size: A4
 Scale: 1:1250
 Grid Interval: 200

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LEGEND

- POI(Point Of interest)
- ✕ Plot corner
- Project Affected Person(PAP)
- Existing access
- Footpath

Rev.	Date	Status	Revision Description	Iss.	Check	Appr.
A	Jan. 2023	NA	Issued For In/ter Discipline Check	0	C.O	C.O

CONSULTANT: Segamu 14 Consults Ltd.

CLIENT: Ministry of Water and Environment
 MoWE
 WSDf-C
 Kakumiro district

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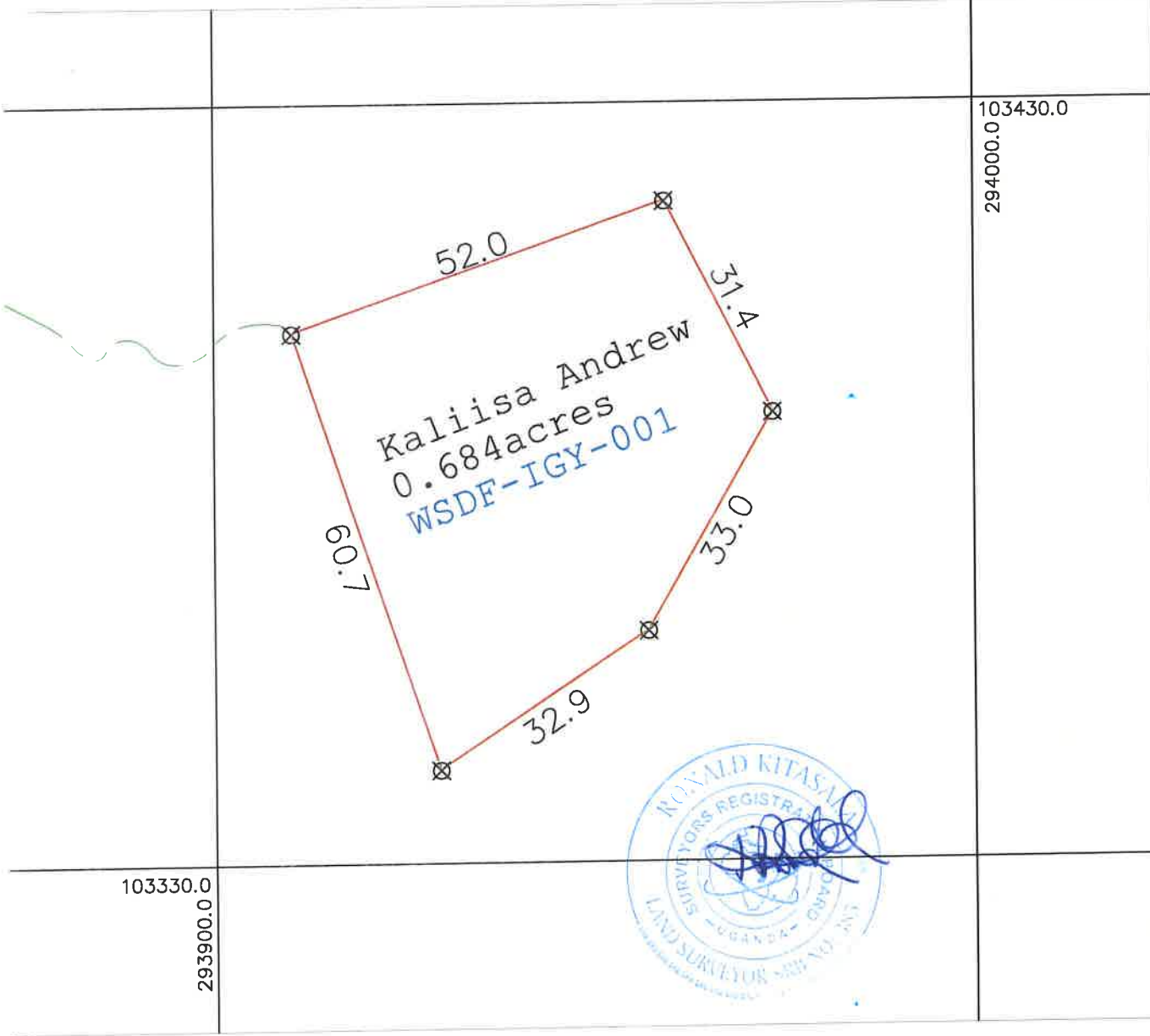
Attribute: MoWE **Site:** Igoyiro **Project Phase:** NA

CONULTANCY SERVICES TO UNDERTAKE LOCATION, RECONNAISSANCE, TOPOGRAPHIC, CADASTRAL AND VALUATION SURVEYS IN WSDf - C AREA OF OPERATION IN CENTRAL REGION UNDER A FRAMEWORK CONTRACT

Discipline:	SUR	Doc. Type:	SRV	Section:	PS	System:	NA
Company Doc. No.:	SCL CS 2022-09	Class:	1	Scale:	1:1250		
Contractor Doc. No.:		Format:	A4	Page:	1 of 1		

Bm#12

WATER TANK



GENERAL NOTES

Datum ARC 1960
Projection UTM
Zone 36 N
Paper Size A4
Scale 1:750
Grid Interval 100

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LEGEND

- POI(Place Of Interest)
- Plot corner
- Footpath

Rev.	Date	Status	Revision Description	Iss.	Check	Appr.
A	Jan_2023	NA	Issued For Int or Discipline Check	0	CO	CO

CONSULTANT: Segamu 14 Consults Ltd.

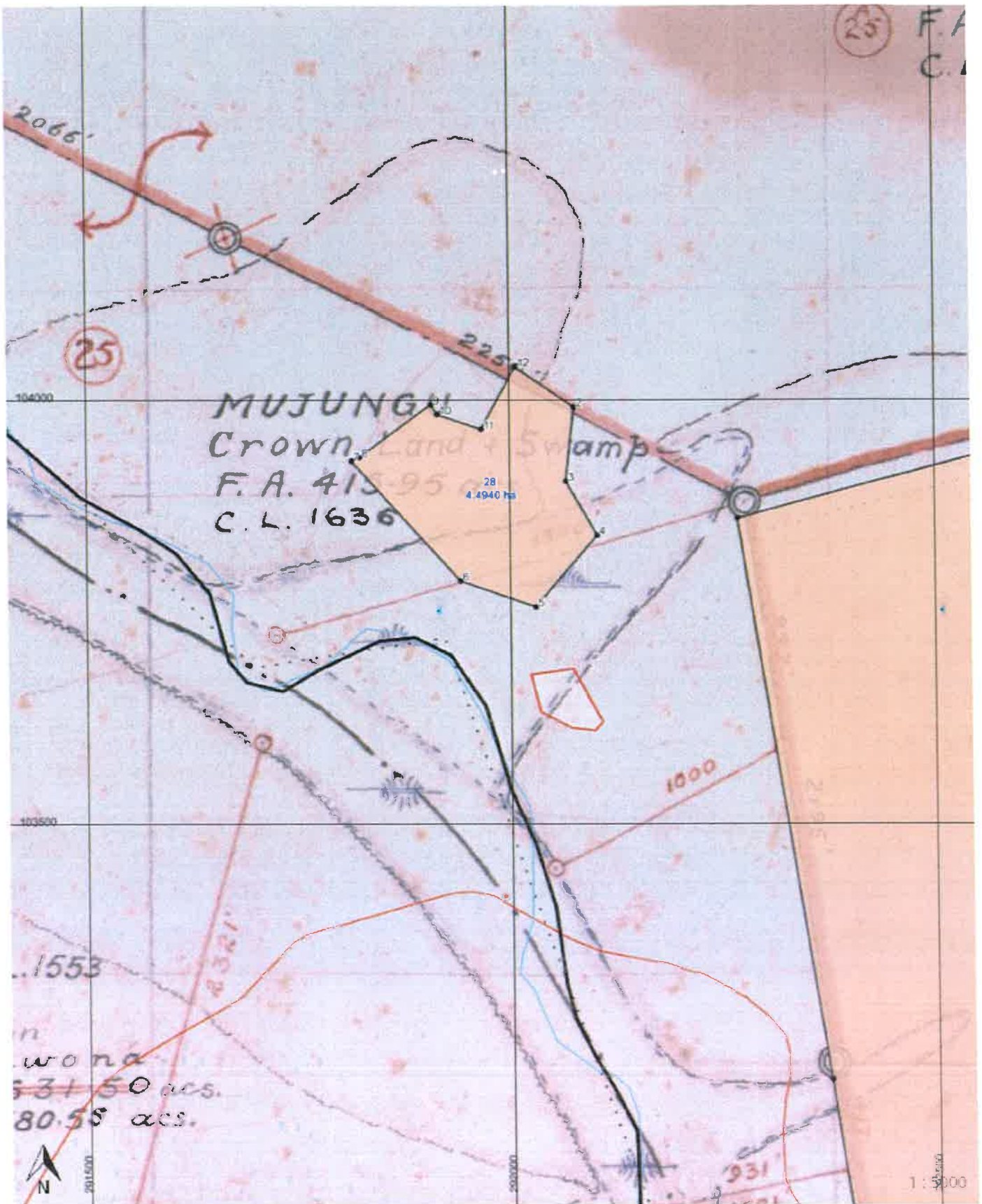
CLIENT: Ministry of Water and Environment
MoWE
W S D F - C
Kakumiro district

Client: MoWE Site: Igoyiro Project Phase: NA

CONSULTANCY SERVICES TO UNDERTAKE LOCATION, RECONNAISSANCE, TOPOGRAPHIC, CADASTRAL AND VALUATION SURVEYS IN WSDF - C AREA OF OPERATION IN CENTRAL REGION UNDER A FRAMEWORK CONTRACT

Discipline:	SUR	Doc. Type:	SRV	Sector:	PS	System:	NA
Company Doc. No:	SCL/CS/2022-09			Class:	1	Scale:	1:750
Contractor Doc. No:				Format:	A4	Folio:	1 of 1

Bm##a



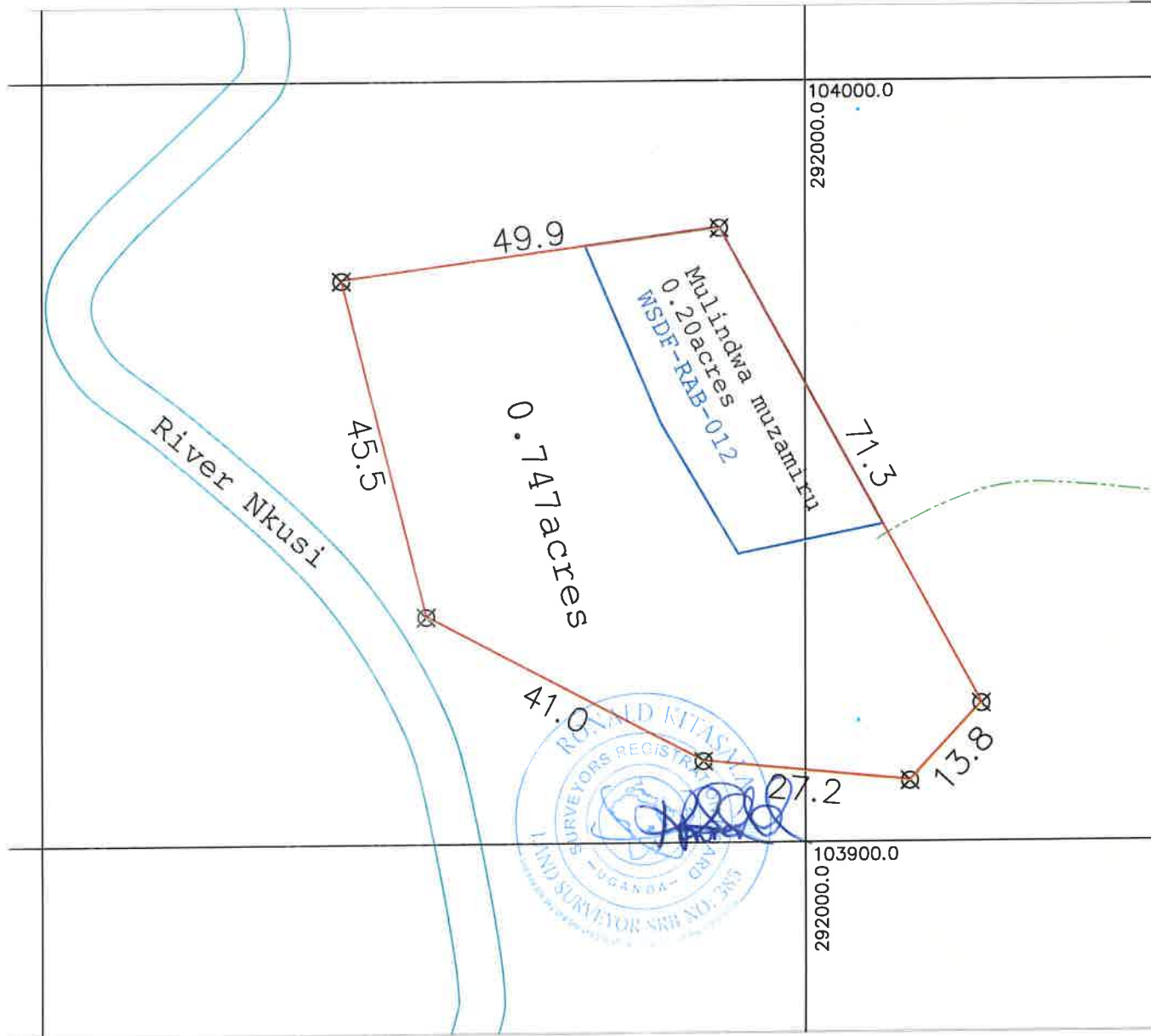
WATER SOURCE LAND MEASURING 0.954 ACRES
 FALLS IN PUBLIC LAND

2022-11-01
 ITRF2005 / UTM zone 38N



Ministry of Lands, Housing and
 Urban Development

WATER ABSTRACTION POINT



GENERAL NOTES

Datum ARC 1960
 Projection UTM
 Zone 36 N

Paper Size A4
 Scale 1:750
 Grid Interval 100

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LEGEND

- POI(Place of interest)
- Plot corner
- Footpath
- River
- Project Affected Person(PAP)

Rev.	Date	Status	Revision Description	Iss.	Check	Appr.
A	Jan. 2023	NA	Issued For Inter Discipline Check	0	C.O	C.O

CONSULTANT: Segamu 14 Consults Ltd.

CLIENT: Ministry of Water and Environment
 MoWE
 W S D F - C
 Kakumiro district

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Altitude: MoWE | Site: Igayama | Project Phase: NA

CONSULTANCY SERVICES TO UNDERTAKE LOCATION, RECONNAISSANCE, TOPOGRAPHIC, CADASTRAL AND VALUATION SURVEYS IN WSD F - C AREA OF OPERATION IN CENTRAL REGION UNDER A FRAMEWORK CONTRACT

Discipline: SUR	Doc. Type: SRV	Sector: PS	System: NA
Company Doc. No.: SCL/CS/2022-09	Class: 1	Scale: 1:750	
Contractor Doc. No.:	Format: A4	Page: 1 of 1	

Smatt

WSDF-C RUBASENGURA AND IGAYAZA A RAP PHOTO ALBUM



BISHOBORE JOHN
WSDF-RAB-001



BISHOBORE JOHN
WSDF-RAB-002



NALUBEGA IRENE
WSDF-RAB-003



ASIIMWEDIDAS AND
NYAMAHUNGE JUSTINE
WSDF-RAB-004



NAGADYA NAOME
WSDF-RAB-005



TWESIGYE EVAS, NATUKUNDA
JUSTINE AND NATAMBA
JOSELYN
WSDF-RAB-006



ASIIMWE DIDAS AND
NYAMAHUNGE JUSTINE
WSDF-RAB-007



OWAMANI LAUBEN AND
TUSHEMEREIRWE
WSDF-RAB-008

WSDF-C RUBASENGURA AND IGAYAZA A RAP PHOTO ALBUM



**ADAM AHIMBISIBWE
WSDF-RAB-009**



**ADAM AHIMBISIBWE
WSDF-RAB-009**



**HAKIM WALUSIMBI
WSDF-RAB-010**



**TAREMWA NYAKOJO
WSDF-RAB-011**



**MUZAMIRU MULINDWA
WSDF-RAB-012**



**MUZAMIRU MULINDWA
WSDF-RAB-012**



**KALIISA ANDREW
WSDF-IGY-001**



**KALIISA ANDREW
WSDF-IGY-001**